



DEVELOPMENT PERMIT NO. DP000891

PRAXAIR CANADA INC.
Name of Owner(s) of Land (Permittee)

2515 MCCULLOUGH ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT A, SECTIONS 18 AND 19, RANGE 8, MOUNTAIN DISTRICT, PLAN EPP17545

PID No. 028-832-680

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Section and Elevations
Schedule D Landscape Plan

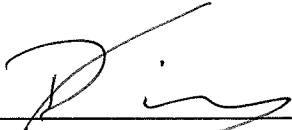
- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.

4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

2014 - Oct - 10

Date



D. Lindsay
Director

Community Development

Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb

Prospero attachment: DP000891

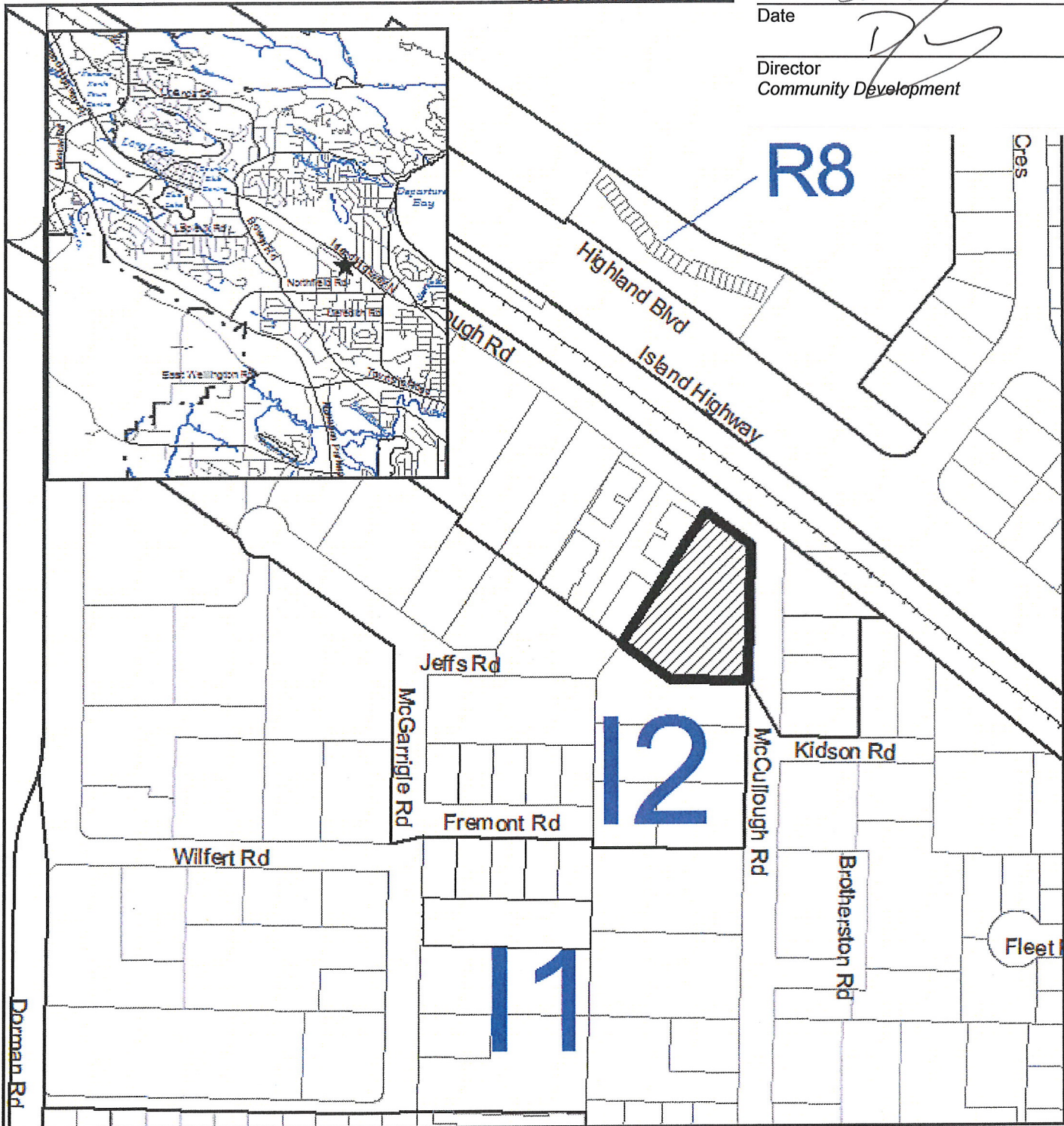
SCHEDULE A

Date

2014 OCT/10

Director

Community Development



DEVELOPMENT PERMIT NO. DP000891

LOCATION PLAN



Civic: 2515 McCullough Road
Lot A, Sections 18 and 19, Range 8, Mountain District,
Plan EPP17545



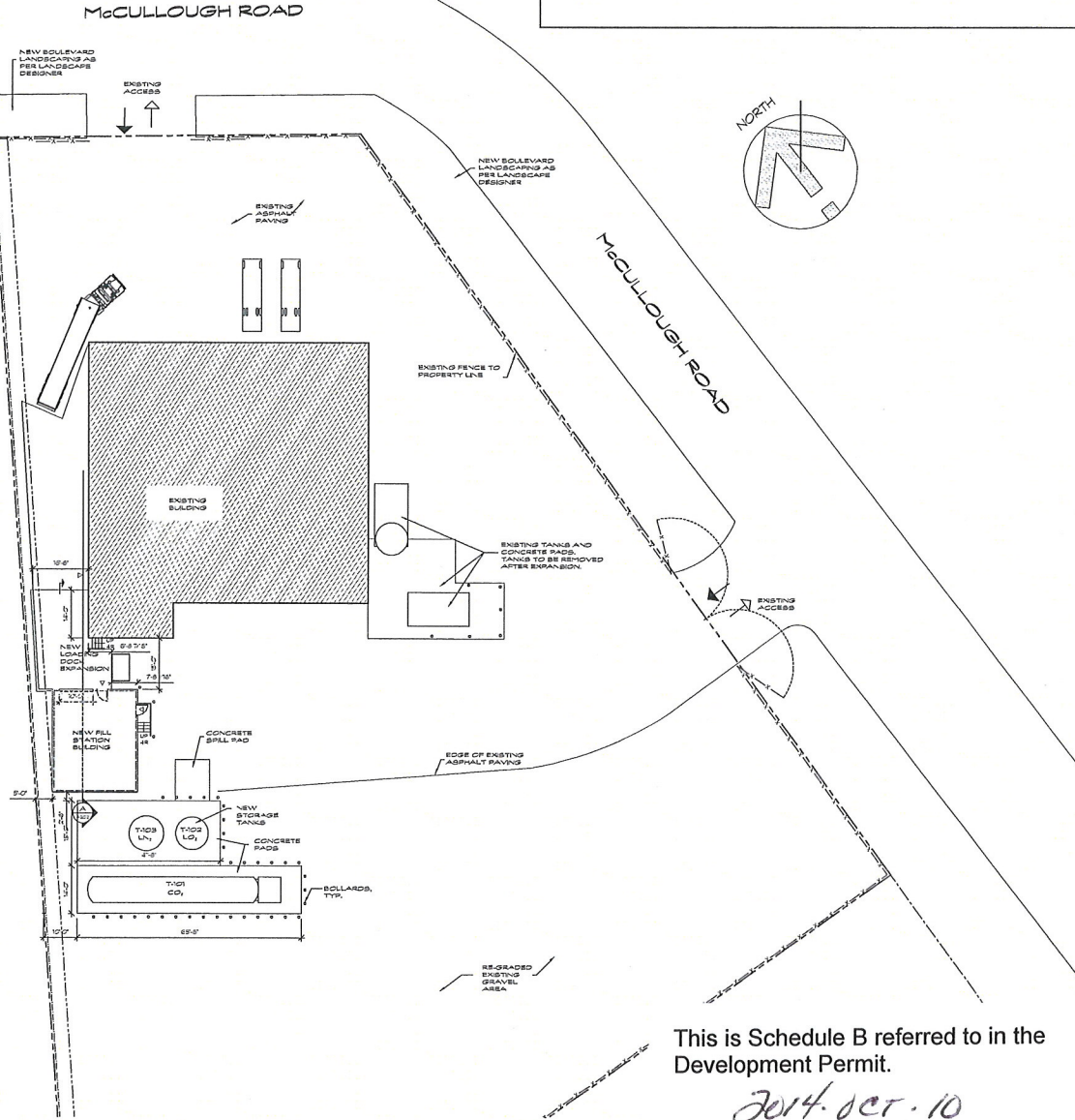
**Subject
Property**

Development Permit DP000891
2515 McCullough Road

Schedule B
Site Plan

ISSUES	
DATE	ISSUED FOR
1 2013/03/17	CLIENT REVIEW
2 2014/08/05	ISSUED FOR DP
SUS CONSULTANT	

CIVIC ADDRESS: 2515 McCULLOUGH ROAD, NANAIMO, BC
LEGAL DESCRIPTION: LOT A, SECTION 18 & 19, RANGE 6, MOUNTAIN DISTRICT PLAN EX-70345
ZONING: B-1 HIGH TECH INDUSTRIAL
SITE AREA: 5.078.2 SQ. FT.
BUILDING AREA: 600 SQ. FT. 1.8% EXISTING
(80% COVERAGE ALLOWABLE)
70 SQ. FT. 1.4% NEW
670 SQ. FT. 13.2% TOTAL
BUILDING HEIGHT: 8.5m (4.0m MAX PERMITTED)
GROSS FLOOR AREA: 600 SQ. FT. (EXISTING BUILDING)
70 SQ. FT. (NEW BUILDING)
670 SQ. FT. GROSS AREA



PRAXAIR SITE UPGRADES -
2515 McCULLOUGH

2515 McCULLOUGH RD., NANAIMO, BC

PRAXAIR DISTRIBUTION

HEROLD
ENGINEERING LIMITED
Consulting Engineers
3101 Shadmoor Rd, Nanaimo, BC V9T 2B1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mherold@herold-engineering.com

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SITE PLAN

DESIGNED	ENGINEER'S SEAL
AS	
DESIGN REVIEW	
ES	
DRAFTED	
AS	
DRAFTING REVIEW	
PROJECT NO.	CLIENT DRAWING NO.
031-002	
SCALE	PERMIT NO.
1"=50'-0"	
DEL. DRAWING NO.	REVISION
A201	2

SHOW ALL DRAWINGS SHOWING PREVIOUS REVISION

This is Schedule B referred to in the
Development Permit.

Date

Director
Community Development

RECEIVED 2014-AUG-06
PLANNING & DESIGN SECTION

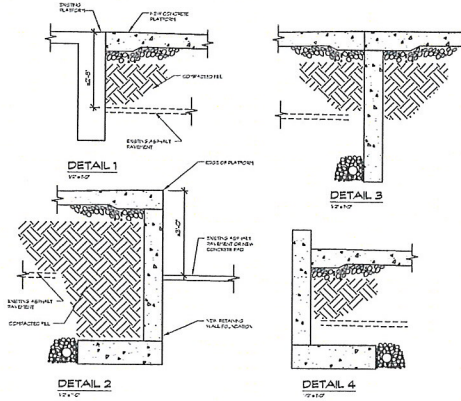
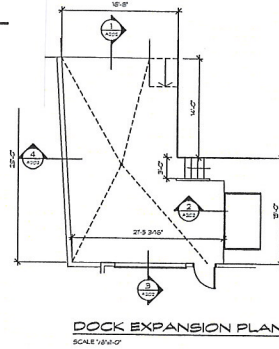
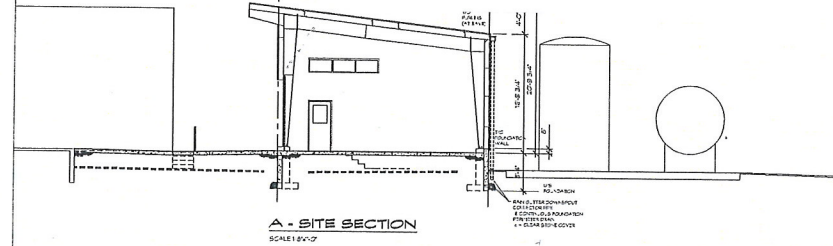
This is Schedule C referred to in the Development Permit.

2014 OCT 10.

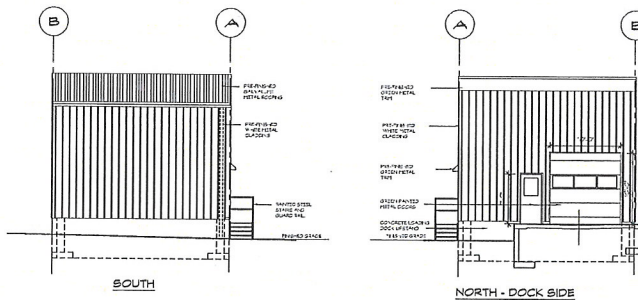
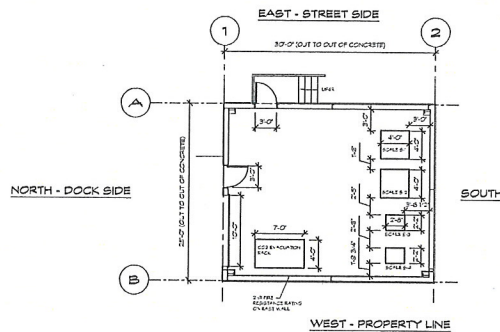
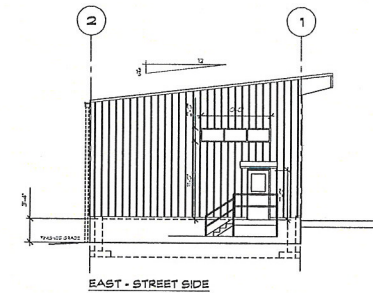
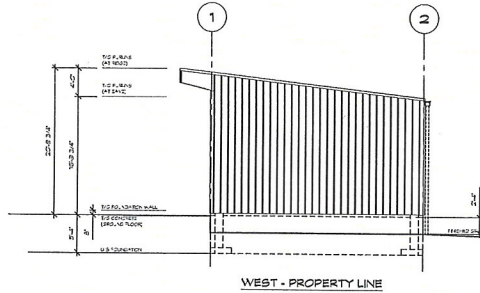
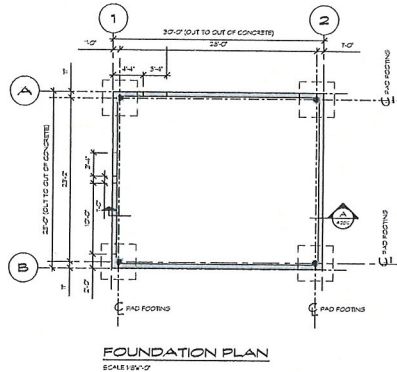
Date

Director
Community Development

ARCHITECTURAL D 34" x 34"



ISSUES	DATE	ISSUED FOR
1	2014-08-27	CLIENT REVIEW
2	2014-08-28	ISSUED FOR PERMIT



PRAXAIR SITE UPGRADES -
2515 MCCULLOUGH

2515 MCCULLOUGH RD., NANAIMO, BC
PRAXAIR DISTRIBUTION

HEROLD
ENGINEERING LIMITED
Consulting Engineers
2701 Shelton Rd. Nanaimo, BC V9T 2M1
Tel: 250-791-8558 Fax: 250-791-8559
Email: msh@heroldengineering.com

**FILL STATION
BUILDING - PLAN
SECTION
ELEVATIONS**

DESIGNED JLB	ENGINEER'S SEAL
DESIGN REVIEW ED	
DRAFTED JLB	
DRAFTING REVIEW	
PROJECT No. CDSB-002	CLIENT DRAWING No.
SCALE AS SHOWN	PERMIT No.
REL. DRAWING No. A202	REVISION 2

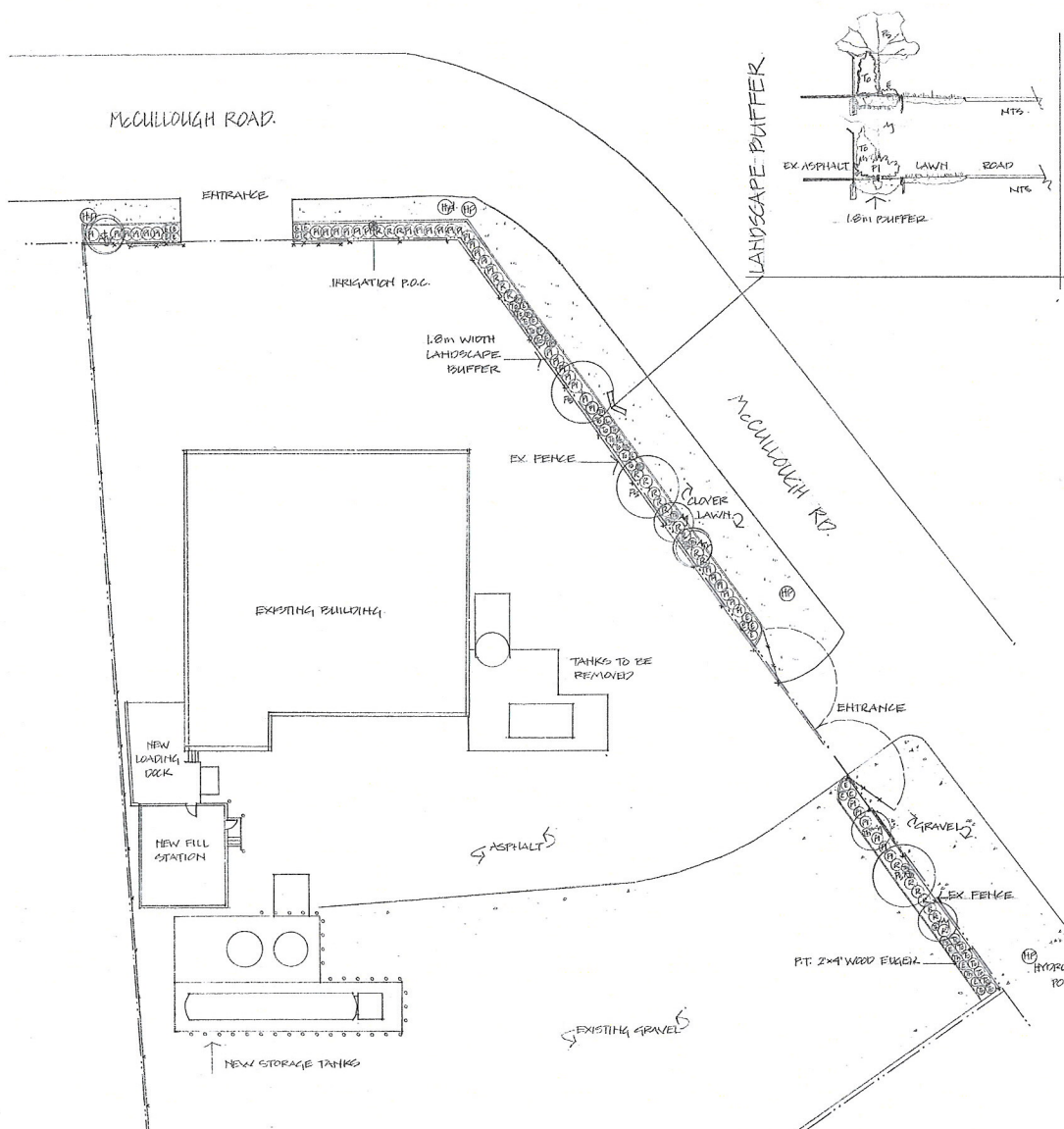
DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION

Development Permit DP000891
2515 McCullough Road

Schedule C

Section and Elevation

RECEIVED 2014-AUG-06
PLANNING & DESIGN SECTION



LANDSCAPE SPECIFICATIONS

- 1.0. General**
Site meeting to be arranged by Landscape Contractor / Owner providing seven days notice to Landscape Architect prior to commencement of landscape work. The Landscape Contractor / Owner will be responsible for the area of development to identify limit of work. A plan review and schedule of site supervision will be scheduled prior to work beginning. All items on plans that are not indicated on the Landscape Architect's drawings are to be scheduled for inspection on site by the Landscape Contractor, giving no less than 48 hours notice. All changes in the scope of work on site shall be agreed upon and recorded in writing and approved by the Landscape Architect prior to commencement. All work is to be done to BCLNA standards and BCLNA standards - seventh edition, IABC, and City of Nanaimo growing medium standards. The Landscape Contractor shall ensure that all work meets or exceeds all BCLNA standards and IABC standards. Employees of Landscape Contractor and site supervisor to have Horticulture training and background and have access to all standards in plan.
- 2.0. Site conditions**
Location of all existing utilities, irrigation point of connection, ascertained sub-grades, limit of work, and protected areas are to be measured and verified prior to work beginning and any discrepancies reported to Landscape Designer before installation of landscape by Landscape Contractor. See civil design for lot layouts, utilities, and driveway layouts.
- 3.0. Drainage**
It shall be the responsibility of the Landscape Contractor to establish all sub-grades to allow for the levels, profiles and contours required. All cultivated areas should have positive drainage with no pockets or depressions. Grade transitions of sub-grade shall be even, such that ponding cannot occur on sub-grade surface. The sub-grade should be scarified to a depth of 150mm (6 inches) by the Landscape Contractor to remove any glazing of sub-soils where growing medium/landscaping is to be placed. Rough grades should allow for growing medium/ amendment placement in planted areas - 150mm in least areas and up to 450mm (18 inches) in planted areas.
- 4.0. Soil Testing**
Prior to any growing medium being placed on site, a soil analysis and location/source of stock pile is to be provided to the Landscape Designer for approval. Any amendments recommended by soil lab in order to meet BCLNA and City of Nanaimo growing medium standard Moderate - Level 2, will be the responsibility of the Landscape Contractor. Pacific Soil Analysis Unit #5, 11720 Vantage Way, Richmond, BC, V6X 3G9, 604-273-8225.
- 5.0. Planting**
All work to be done to BCLNA and Nursery standards, seventh edition. Employees of Landscape Contractor are to be aware of BCLNA standards and have basic Horticulture background and training. Planted areas will have a minimum of 18 inches (450mm) and lawn areas 6 inches (150mm). For trees no less than 300 mm (12 in) on all sides of root ball (see detail). Growing medium/amendments are to be screened and achieve the properties for a BCLNA Landscape Standard Moderate - Level 2 landscape. All imported growing medium is to be tested and amended. Soil analysis to be presented to Landscape Designer prior to placement. Landscape Architect must be notified 24 hours prior to plant placement. Final layout of plant material to be approved by Landscape Architect. Fertilizer as specified by the soils lab through the 2 year maintenance period. NO PRUNING OF LEADERS IN TREES. Trees are to have a minimum caliper, no pruning of leaders, and planted to the nursery soil line at 80 mm above the finish grade. Placement of trees shall coordinate with Civil engineering design for lot layout, utilities, and driveway locations. See notes on tree placement and distances to locate the required setbacks. All trees are to be staked with 7 foot wooden dowels stakes and Armo-rite - see detail.
- 6.0. Mulch**
Bark mulch on all planted areas 75mm (3 inches) in depth. Mulch to consist of 25mm (1 in) minus Douglas Fir or Hemlock bark chips and fines.
- 7.0. Lawn Seeding**
Seed With Clover Lawn grass mix on all Boulevards to road edge. Seed under optimal field conditions for germination and survival of seedlings without irrigation. Seeding should be done in the Fall - up to October 31st at the latest. Do not undertake seeding in adverse weather conditions including moisture, temperature or wind. Re-seed at 2 week intervals in Spring before holiday weather conditions arrive where germination has failed.
- 8.0. Irrigation**
The irrigation point of connection (see P.O.C.) to be confirmed by the Landscape Contractor on site. Drip or micro drip irrigation is to be used on planting areas. Irrigation Design Requirements:
Point of Connection (P.O.C.) to be provided by Site Contractor. Prior to installation stake with standard wire with fluorescent flag and check grades and locations of all components including sewer, drain lines, water and gas mains. Landscape Designer to approve system layout and coordination of service line and size to be determined at initial site meeting prior to work commencing. Irrigation contractor to provide irrigation shop drawings prior to installation and final prior to handover. Location, types and size of all pipes, valves, heads, controllers, and splices to be recorded on drawings which shall be made available to Designer digitally. System design, installation, maintenance (during 1 year warranty period) and balancing to be by an Irrigation Industry Association certified Contractor. At work to meet or exceed IABC standards and in accordance with City of Nanaimo Engineering standards. The system shall be installed in accordance with applicable electrical, plumbing and health codes. Ensure insulation of services and services from mains prior to any site paving works - coordinate with Site Contractor / Owner. Isolate irrigation system from water main with gate valve installed a minimum of 1 metre from meter. Provide backflow preventer on system. Maximum system hydrostatic pressure downstream of water service 80 PSI. Piping not to exceed 5 FTFS. All pipe to be bedded in sand or screened topsoil free of rocks. Do not bed on coarse construction rubble. Minimum pipe depth 450 mm (18 in) over sleeves under roads and 200mm (10 in) in planting beds. Pressurized mains to be schedule 40, lateral lines schedule 40, fittings to be schedule 40, all CSA approved. Maximum allowable velocity in any circuit: 5 FPS. Maximum circuit flow 35 GPM. Balance lateral lines from mid-pipe to minimize low pressure at end of runs. System to have an automatic shut-off device. All irrigation boxes to be flush with finished grade. Check and adjust sprinkler heads for proper operation and coverage prior to final inspection and handover. Contractor to provide one complete "blow-out" (winterization) and one spring start-up as part of bid price. Winterization is no later than end of Oct and start up April / May depending on weather. Prepare "As-Built" drawings of pipe and other equipment location to IABC standards; provide two copies to Landscape Designer / Owner on final inspection. Final inspection shall require system pressure testing with Landscape Designer present.
- 9.0. Two-Year Maintenance Period**
To BCLNA standards Moderate - Level 2. Keep all areas free of invasive species, NO PRUNING OF LEADERS IN TREES. Weeding to be done by hand, not by chemical means, IPM to be practiced.

Suggested Plant List

Qty	Sym	Botanical Name	Common Name	Spc	Size
1	Am	Aster gracilis	Amur Maple (tree form)	As shown	8 cm cal
2	Am	Aster gracilis	Paperbark Maple	As shown	8 cm cal
3	Am	Prunus serrulata 'Krasanm'	Krasanm Cherry	As shown	6 cm cal
1	Am	Prunus serrulata 'Emargin'	Emargin Cherry	1 m. cal.	2 in
Shrubs & ground covers & bulbs					
20	E	Erica carnea	Heather - groups of spring & fall blooming species	450mm	#1
3	L	Lavandula angustifolia 'Hidcote'	English Lavender	450mm	#1
40	Pt	Prunella laetifolia	Portuguese Laurel	1 m. cal.	#2
20	R	Rosa spp. 'medialuna' or 'cayser'	Rosa 'Caroline's Beauty'	1 m. cal.	#1
20	Th	Thymus vulgaris	Common Thyme	450mm	10 cm

Lawn areas to be clover lawn; a mix of white clover seed and lawn seed suitable for low traffic lawn areas
Total lawn area: 57 m² = 615 sq ft
Total planted area: 162 m² or 1,748 sq ft
All measurements to be confirmed on site prior to work commencing

This is Schedule D referred to in the Development Permit.

Date

Director
Community Development

Development Permit DP000891
2515 McCullough Road

Schedule D
Landscape Plan

0' 6' 12' 18' 24' 30'	
SCALE 1" = 16'	
06-13-14	Draft for review
07-15-14	Review of site plan
Date	Rev
Description	
Keltie Chamberlain, Landscape Design & Consulting ASAI, IABC, ICLNA	
3160 Robin Hood Drive, Nanaimo BC V9T 1P1 Phone: (250) 803-0435 Fax: (250) 729-0810 kel@kelclandscape.com www.kelclandscape.com	
Project Praxair Distribution 2515 McCullough Road Nanaimo BC	
Sheet Title LANDSCAPE PLAN FOR Development permit - site upgrade	
Legal Description Lot 6 & 7 Block 19, Sec 1 Nanaimo Dist Plan 584	
Date: July 2014	Scale: 1 inch = 16 feet
Drawn: KC	Sheet No.: L1